

## VILLAGE OF GLENWOOD

### DECK and PORCH REQUIREMENTS

THE BEST-DESIGNED DECK OR PORCH DO NOT MEAN A THING IF THEY ARE NOT PROPERLY BUILT AND MAINTAINED. THE SAFETY OF YOU, YOUR FAMILY, AND YOUR GUESTS ARE DEPENDENT ON GOOD CONSTRUCTION, PROPER MAINTENANCE AND COMMON SENSE.

**Please note the following points when building, inspecting or choosing a contractor for your deck or porch.**

1. When contracting for work, insist on a written contract with a fixed cost that includes plans initiated by you and your contractor.
2. **Do not sign** a contract unless you have verified that the contractor is licensed in the Village of Glenwood. One of the requirements for licensing is a bond to protect our homeowners from shoddy construction, or those, which in some cases never complete the job.
3. **Before the installation of the deck post holes call *JULIE, 1-800-892-0123***, and allow 2-3 working days for free location of buried utilities.
4. Make sure that the proper screws or nails are being used for the material that you have selected. Check it out, because some securing applications are not to be used with certain materials.

**Permit requirements;**

1. Submit a current plat of survey showing the size and exact location of the structure on the lot.
2. Provide plans showing the design, pier locations, railings and type of material being used.
3. Provide complete cost of project on the building permit.
4. The deck or porch must be placed a minimum of 5 feet from the property line and cannot be placed on any easement with out written permission from all utilities.
5. All ICC 2003 building codes are applicable and must be followed.

**Construction requirements;**

**1. Columns:**

Columns are vertical members which support the deck or porch structure. Columns are to be supported by piers within the concrete or on top following these guidelines. All post holes are to be **42 inches deep**.

A. 6 X 6 columns anchored in an approved bracket on top of a 12 inch concrete pier.

B. 4 X 4 columns anchored in an approved bracket on top of a 10 inch concrete pier.

Columns placed on top of piers require the proper connectors to keep the wood off of the concrete and secured for lateral movement.

**2. Ledgers:**

Ledger beams are used to support joist and are connected to the building face. Joists are framed into a ledger at right angles and need the proper joist hanger for support. Ledger boards must be tight to the building face and must include flashing methods designed to prevent water from entering the existing building. Holes in the wood ledger board must be sealed with 100% Silicone Rubber Sealant with 50 year durability. Ledger boards attached to an existing building are to have a flashing installed so that water cannot leak behind the ledger board. Lag bolts shall be staggered up and down the ledger boards at approximately 1/3 the height and shall provide a good mechanical connection to the existing building.

3. **Beams:**

Beams are horizontal members that are used to transfer or carry the loads from one of the support members to another. Beams are usually framed into columns and usually support the floor joist. All beams shall be connected to the columns using a steel support system approved for this application. Where beams are connected to the sides of columns they shall be bolted with 2 through bolts and washers 3/8 "minimum size.

4. **Joists:**

Joists span from support beam to support beam or from ledger board to joist ribbon and are to be spaced a minimum of 16 inches on center. If they are framed from ledger board to ribbon board they shall have the correct size joist hangers applied.

**Joist Span Table at 16 inches on Center-Minimum**

2 X 6	6 foot or less
2 X 8	10 foot or less-one row solid bridging
2 X 10	14 foot or less-one row solid bridging
2 X 12	18 foot or less-two rows solid bridging

Some wood alternatives require 12 inch centers and different installation requirements, make sure that you follow the manufacturer's installation instructions.

5. **Deck Topping:**

If you are building a porch use the correct thickness of plywood or equal.

If you are building a deck, the decking must be tightly affixed to the joists with nails or deck screws. Decking must be sufficiently secured to prevent warping and spacing must not be such that gaps would impair the safety of people using the deck. Recommended spacing not more than 1/4 inches apart.

6. **Ramps:**

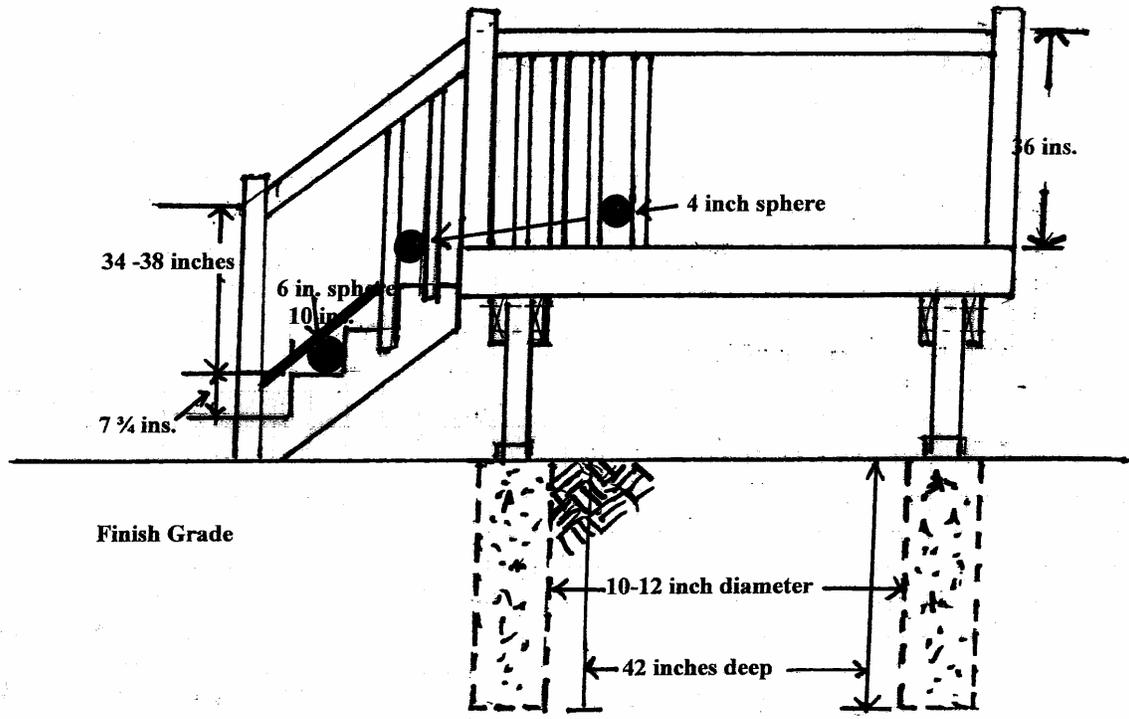
Ramps shall have a minimum slope of one vertical in eight inches horizontal. Handrails shall be provided on one side if the slope exceeds one inch vertical in twelve inches horizontal. A 3 foot by 3 foot landing shall be provided at the top and bottom or where doors enter onto ramps.

7. **Stairways:**

Stairways shall not be less than 36 inches in clear width at all points above the permitted handrail height. The maximum stair riser height shall not exceed 7 3/4 inches and the minimum tread depth shall not be less than 10 inches. No totally open risers are allowed.

8. **Railings:**

Railings or guards are required wherever the deck or porch is 30 inches or more above finished grade. Guards are railings that run around the deck and are not to be less than 36 inches in height. Guards shall not create a ladder effect or be installed in a horizontal manner or other ornamental patterns that result in a ladder effect. Balusters shall have vertical run spacers and all pickets shall be a minimum of having a 4 inch sphere not being able to pass through. Railings run along open stairs side and are not to be less than 34 inches in height and not greater than 38 inches measured vertically from the nosing of the treads on at least one side of the stairway. Hand rails shall terminate in newel post or safety terminals.. Handgrips shall have a circular cross section of 1 1/4 inches minimum to 2 5/8 inches maximum. Bottom rails shall be installed to prevent a 6 inch sphere from passing through the stair tread and the rail.



**VILLAGE OF GLENWOOD**  
**ONE ASSELBORN WAY**  
**GLENWOOD, ILLINOIS 60425**  
(708) 753-2416

**GENERAL CONTRACTOR'S REQUIREMENTS**

1. To supply the name of the General Contractor, address, phone number, fax number, and project name and site address.
2. The name of the superintendent or superintendents who are responsible to oversee the project their phone number, cell number and job fax number if available.
3. It shall be the responsibility of the General Contractor to supply a complete list to the Village of Glenwood's Building Department, of every subcontractor or vender who will be constructing or performing a service in the completion of the job project. To include name of company, business service, address and contact person.
4. It shall be the responsibility of the General Contractor to inform every subcontractor or vender that it will be necessary to obtain a business license to construct or perform any service in the Village of Glenwood.
5. It shall be the responsibility of the General Contractor to obtain the necessary permits and secure the necessary inspections.
6. It shall be the responsibility of the General Contractor to maintain a clean and safe job site. All vehicles when leaving a job site in wet or muddy conditions must be hosed before they are allowed to enter onto the public street.
7. It shall be responsibility of the General Contractor to keep the Building Department informed of any changes in the constructing of the building or changes in the subcontractors or vender performing the services.
8. It shall be the responsibility of the General Contractor to remove all construction debris from the job site and all refuse containers.
9. **Clean-up bond.** Prior to the issuance of any building permit in respect to new work, alteration and repairs to existing building, the party making applications for such permit shall deposit with the Village of Glenwood a cash bond in the amount of \$500.00 for any work with a valuation in excess of \$2000.00, to assure that all refuse, rubbish, building materials or any other items resulting from the work for which the permit was issued, shall be removed from said premises and basic landscaping is completed. Refunded to the party by the Village if approved upon the final inspection by the Building Inspector.

## **VILLAGE OF GLENWOOD**

### **DEFINITIONS and BUILDING GUIDELINES**

#### **PLAT OF SURVEY**

The legal description and diagram used to describe your property.

#### **CORNER LOT**

A lot having at least two adjacent sides abut for their full length upon a street. Corner lots have two front yard setbacks.

#### **LOT LINES**

The property lines bounding your lot from any adjacent lot.

Front Lot line: The line which separates your lot from the street right-of-way. It begins one foot inside your sidewalk.

Rear Lot Line: The lot line which is opposite and most distant from the front lot line.

Side Lot Lines: Lot lines other than the front and rear lot lines,

#### **FRONT BUILDING LINE**

No structure can be built past this line.

#### **PUBLIC UTILITY and DRAINAGE EASEMENT**

**NO** decks, sheds, pools, landscaping or garages can be built inside this area. These objects obstruct the flow of water and may cause flooding problems for you and your neighbors. Fences are allowed.

#### **RIGHT-OF-WAY (R.O.W.)**

The dividing line between a lot, tract or parcel of land and the dedicated right-of-way on a contiguous street.

#### **ACCESSORY BUILDING**

A subordinate building or structure (i.e. garage, shed) on the same lot, not a part of the main building, occupied by or devoted to an accessory use.

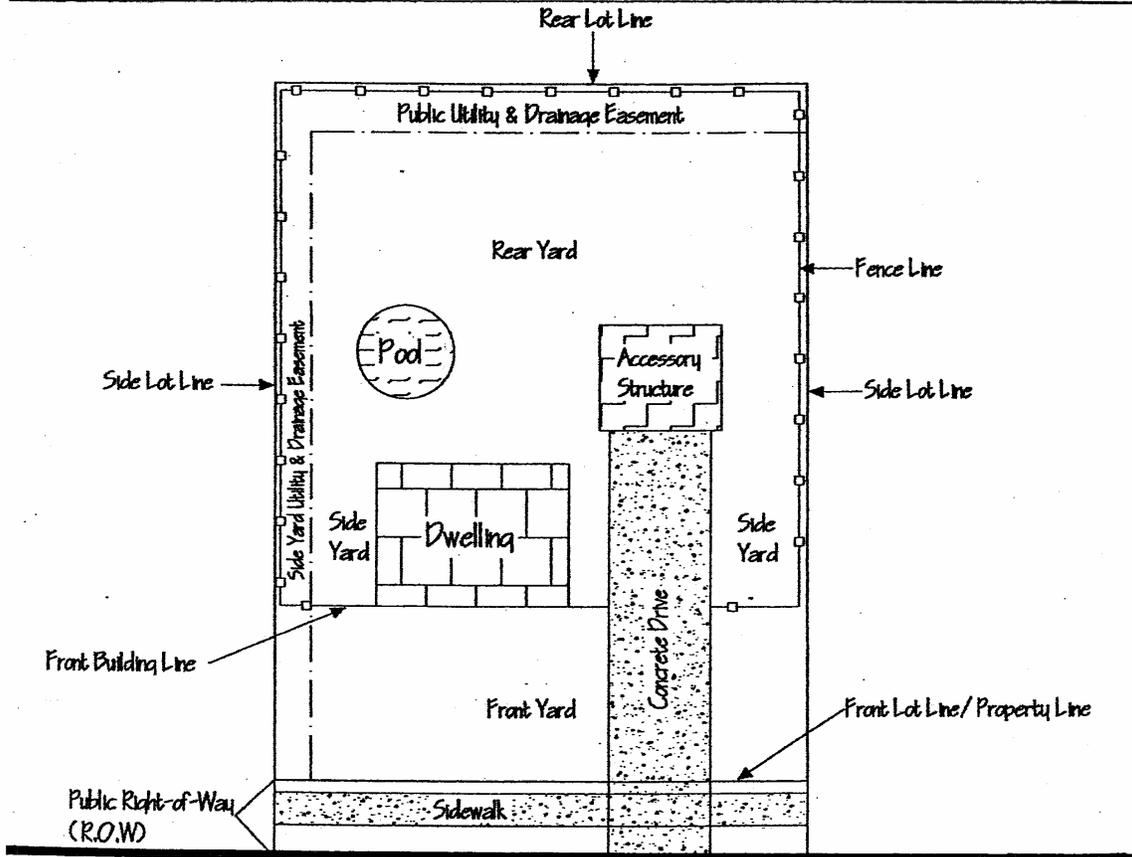
**CHECK WITH THE BUILDING DEPARTMENT IF YOU WILL NEED TO APPEAR BEFORE THE ZONING BOARD FOR A VARIANCE BEFORE BUILDING ANY STRUCTURE. BRING IN A PLAT OF SURVEY TO SHOW THE BUILDING DEPARTMENT YOUR PROPOSED PLAN.**

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Glenwood  
Illinois

### HOW TO READ YOUR PLAT OF SURVEY

Lot in block 1 in Glenwood Manor Estates. A subdivision in the West  
½ of Section 32, Township 36 North, Range 15 East of the Fourth  
Principal Meriden of Cook County  
(sample description)



Contact the Village of Glenwood Building & Planning Department at:  
(708) 753-2416 for further questions.