

VILLAGE OF GLENWOOD

SWIMMING POOLS

1. LOT REQUIREMENTS

A current copy of the plat of survey must be submitted to the Village upon application for a permit. Draw the pool (and/or deck and fence if applicable) on the plat of survey in its exact location. Draw a dotted line to indicate where electrical lines are located. Call the Joint Utilities Locating Information for Excavators (J.U.L.I.E.), at 1-800-892-0123 to mark all underground services that are on your property.

2. ZONING REQUIREMENTS

No portion of a private residential swimming pool, except the walkway or appurtenant equipment, shall be located at a distance less than 10 feet from any side or rear property line or building line except where such appurtenant equipment is installed in an accessory or main building. No appurtenant equipment serving the swimming pool shall be permitted in the required side yard between buildings.

3. PERMITS AND INSPECTIONS

A. It is unlawful to proceed with the construction, installation, enlargement or alteration of any private residential swimming pool unless a permit is obtained from the Building Department. Pools with a capacity of 5000 gallons or more shall be accompanied by plans and specifications in duplicate showing the following: pool dimensions, volume in gallons, type and size of filter, pool layout with all pipes and valves shown, all types of materials to be used, the rate and capacity of the pool pump in gallons per minute, the size and type of pump motor, location and type of waste disposal system and type and location of any walkway and fence construction as required.

B. It is the responsibility of the owner to call the Building Department for the proper inspections. Before occupancy of the swimming pool the construction and electrical need to be inspected.

C. It is the responsibility of the owner to call the Village of Glenwood Building Department, (708) 753-2416, and schedule an yearly pool inspection within 60 days following the receipt of such letter.

4. POOL SPECIFICATIONS

A. In-ground pools shall be designed and constructed in conformance with ANSI/NSPI_5 as listed in Section AG 107 of the International Residential Code-2003.

B. Above-ground pools and on-ground pools shall be designed and constructed in conformance with ANSI/NSPI_4 in Section AG 107 of the International Residential Code-2003

5. FENCING and SAFETY

All outdoor residential swimming pools shall be completely enclosed by a fence. All fence openings or points of entry shall be equipped gate that have a latching device. All fences and gate shall be a minimum of 48 inches in height above grade level. A substantial protective cover shall be provided and installed over all residential pools during the non-swimming season.

6. ELECTRICAL GUIDELINES

A. Pool pump, lighting, or other electrical needs must be supplied by a separate power source located at least 5 feet away from the pool wall. The source must be GFCI protected at the outlet. The waterproof box for the receptacle should be fastened or anchored to a post. The power supply must be provided before completion and use of the pool. **No extension cords can be used to connect to the power source.**

B. A ground wire shall be installed between the filter receptacle and the house electrical panel.

C. Pool electric supply may be run with cable rated for underground wet locations or electrical tubing rated for underground wet locations. **Do not use electrical metallic tubing (EMT or thinwall).** If you choose to use UF cable it must be buried 24 inches deep and must all be rigid conduit where it comes out of the ground. If you choose to run plastic conduit, it must be buried at least 18 inches deep. Do not run plastic conduit into your house. Rigid pipe must be buried at least 12 inches underground.

D. Follow all manufacturers' installation requirements and instruction.

E. Make sure that the filter and pump that you are using are rated for permanently installed swimming pools. Some filters available are for storable pools only.

7. GAS HEATERS

There is no permit required; however, the Village of Glenwood does recommend a shutoff valve located at the heater unit and at the gas meter to the house. Please follow Manufactures' Specifications for installation and CHECK with your homeowners insurance company for any restrictions or specifications.

VILLAGE OF GLENWOOD
ONE ASSELBORN WAY
GLENWOOD, ILLINOIS 60425
(708) 753-2416

GENERAL CONTRACTOR'S REQUIREMENTS

1. To supply the name of the General Contractor, address, phone number, fax number, and project name and site address.
2. The name of the superintendent or superintendents who are responsible to oversee the project their phone number, cell number and job fax number if available.
3. It shall be the responsibility of the General Contractor to supply a complete list to the Village of Glenwood's Building Department, of every subcontractor or vender who will be constructing or performing a service in the completion of the job project. To include name of company, business service, address and contact person.
4. It shall be the responsibility of the General Contractor to inform every subcontractor or vender that it will be necessary to obtain a business license to construct or perform any service in the Village of Glenwood.
5. It shall be the responsibility of the General Contractor to obtain the necessary permits and secure the necessary inspections.
6. It shall be the responsibility of the General Contractor to maintain a clean and safe job site. All vehicles when leaving a job site in wet or muddy conditions must be hosed before they are allowed to enter onto the public street.
7. It shall be responsibility of the General Contractor to keep the Building Department informed of any changes in the constructing of the building or changes in the subcontractors or vender performing the services.
8. It shall be the responsibility of the General Contractor to remove all construction debris from the job site and all refuse containers.
9. **Clean-up bond.** Prior to the issuance of any building permit in respect to new work, alteration and repairs to existing building, the party making applications for such permit shall deposit with the Village of Glenwood a cash bond in the amount of \$500.00 for any work with a valuation in excess of \$2000.00, to assure that all refuse, rubbish, building materials or any other items resulting from the work for which the permit was issued, shall be removed from said premises and basic landscaping is completed. Refunded to the party by the Village if approved upon the final inspection by the Building Inspector.

VILLAGE OF GLENWOOD

DEFINITIONS and BUILDING GUIDELINES

PLAT OF SURVEY

The legal description and diagram used to describe your property.

CORNER LOT

A lot having at least two adjacent sides abut for their full length upon a street. Corner lots have two front yard setbacks.

LOT LINES

The property lines bounding your lot from any adjacent lot.

Front Lot line: The line which separates your lot from the street right-of-way. It begins one foot inside your sidewalk.

Rear Lot Line: The lot line which is opposite and most distant from the front lot line.

Side Lot Lines: Lot lines other than the front and rear lot lines,

FRONT BUILDING LINE

No structure can be built past this line.

PUBLIC UTILITY and DRAINAGE EASEMENT

NO decks, sheds, pools, landscaping or garages can be built inside this area. These objects obstruct the flow of water and may cause flooding problems for you and your neighbors. Fences are allowed.

RIGHT-OF-WAY (R.O.W.)

The dividing line between a lot, tract or parcel of land and the dedicated right-of-way on a contiguous street.

ACCESSORY BUILDING

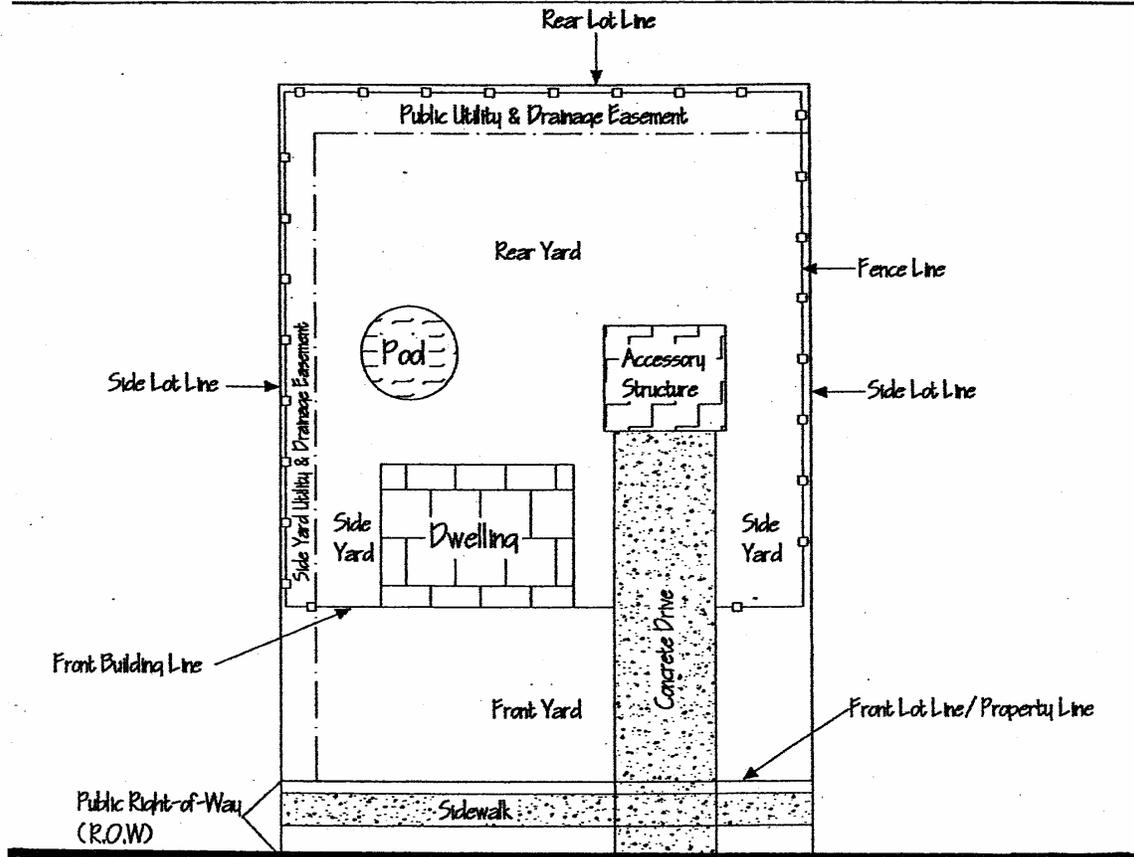
A subordinate building or structure (i.e. garage, shed) on the same lot, not a part of the main building, occupied by or devoted to an accessory use.

CHECK WITH THE BUILDING DEPARTMENT IF YOU WILL NEED TO APPEAR BEFORE THE ZONING BOARD FOR A VARIANCE BEFORE BUILDING ANY STRUCTURE. BRING IN A PLAT OF SURVEY TO SHOW THE BUILDING DEPARTMENT YOUR PROPOSED PLAN.

Glenwood
Illinois

HOW TO READ YOUR PLAT OF SURVEY

Lot in block 1 in Glenwood Manor Estates. A subdivision in the West
½ of Section 32, Township 36 North, Range 15 East of the Fourth
Principal Meridian of Cook County
(sample description)



Contact the Village of Glenwood Building & Planning Department at:
(708) 753-2416 for further questions.