

## VILLAGE OF GLENWOOD

### ATTACHED and DETACHED GARAGES

1. **LOT REQUIREMENTS**  
The accessory structure can not occupy more than 30% of the rear yard, not including swimming pools as an accessory structure.
2. **HEIGHT REQUIREMENT**  
Any garage shall not exceed a height of 15 feet from finished floor to top of ridge board.
3. **LOT PLACEMENT**  
The garage shall not be placed closer than 10 feet from any existing structure or within 5 feet of any lot line.
4. **PLANS and SPECIFICATIONS**  
The owner or general contractor shall provide the Village with a plat of survey showing the exact location of the garage and a detailed drawing of the garage structure.
5. **FIRE RATING ON ATTACHED GARAGES**  
All attached garages shall have a 1-hour fire rated wall separating the garage from the dwelling and a 20 minute fire rated door between them.
6. **FLOORS and FOOTINGS**  
All detached garage floor slabs shall be a minimum of 4 inches thick, 5 bag mix concrete and have 12 inch by 12 inch turned down footings laid over undisturbed soil or tamped sand or gravel. All attached garages shall have a 42 inch deep foundation with a 10 inch by 20 inch wide footing. Floor slab shall be the same as above.
7. **WALLS**  
All walls shall be constructed with 2 x 4's placed 16 inches on center and shall be a minimum grade of No. 3, standard or stud grade lumber. Floor plates shall be a minimum of 2 inch nominal treated lumber and bolted down by ½ " bolts 6 feet on center and located a minimum of 12 inches from each end. Top plates shall be 2-inch nominal lumber doubled with overlapping corners. All walls shall be covered with a minimum ½ sheathing material before applying the finished product.
8. **SWAY BRACING**  
All walls shall have proper sway bracing at each corner consisting of 1 x 4's notched in to the studs, ½ inch plywood or equal, or metal tee bracing cut into the studs.
9. **HEADERS**
  - A. Window and service door headers shall be a minimum of 2-2 x 10 with ½ inch spacing material nailed between the wood, or solid 3 ½ inch x 10 lam beam.
  - B. Overhead garage door headers shall be a minimum of 2-2 x 12 inch material with ½ inch solid plywood or equal bolted together with 3/8 inch bolts top and bottom placed 24 inches on center with double cripple studs at each end.  
Option: 2- 13/4 inch x 12 inch structural glued laminated beam bolted together with 3/8 inch bolts top and bottom at 24 inch on center, or a single 3 ½ inch x 12 inch glued lam beam with doubled cripples on each side, or to install a ½ inch steel plate at least 8 inches wide bolted in between the header with 3/8 inch bolts top and bottom at 24 inches on center.

10. **CEILING JOIST**

There shall be a minimum of 5 ceiling joist of 2 x 8 inch nominal lumber with 1 x 4 inch lumber attached to the rafters and a 2 inch nominal stiff back perpendicular to the ceiling joist from front to back.

11. **ROOF RAFTERS**

Roofs shall be framed with a minimum of 2 x 6 inch rafters at 16 inches on center. The hips or ridge board shall be a minimum of 2 x 8 inch material.

12. **RAFTER TIES**

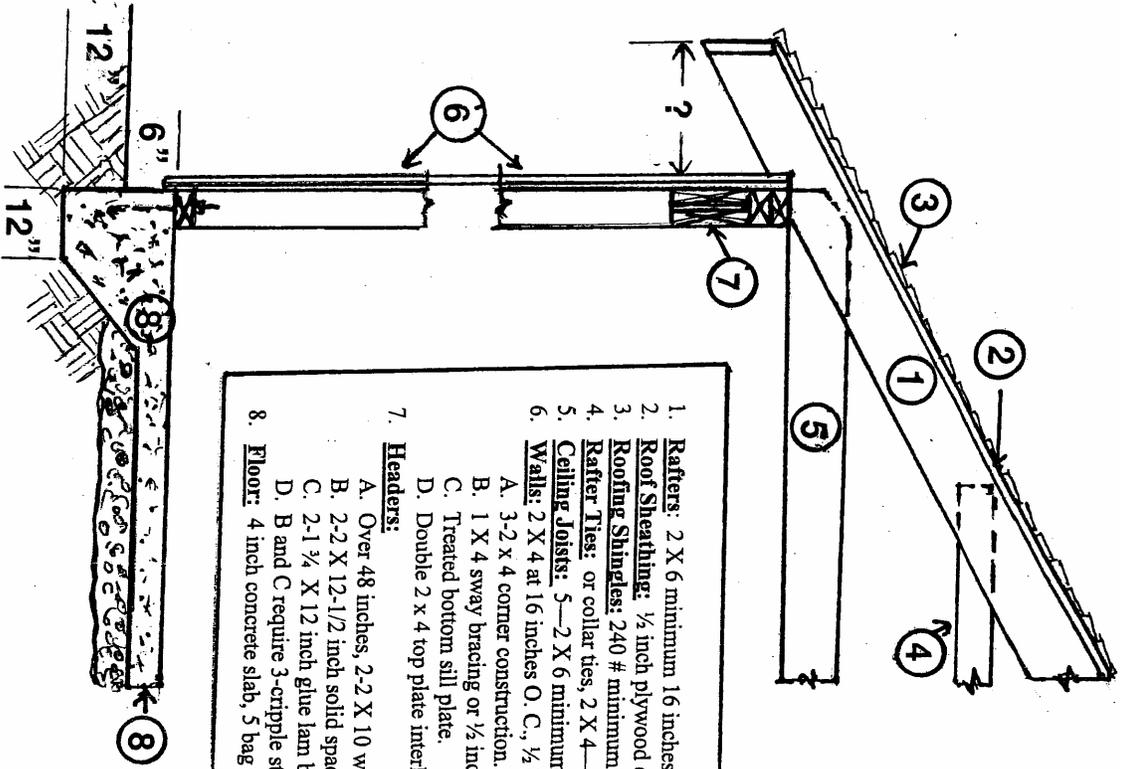
Rafter ties or collar ties shall be a minimum of 2 inch nominal material at 48 inches on center, exception on hip roofs one at each end.

13. **ROOF COVERING**

Roofs shall be sheathed with a minimum of ½ inch plywood or equal, covered with 15# felt paper and a minimum 240# per square shingle. Flat roofs shall be covered with a bituminous material and applied according to the manufacture's recommendations.

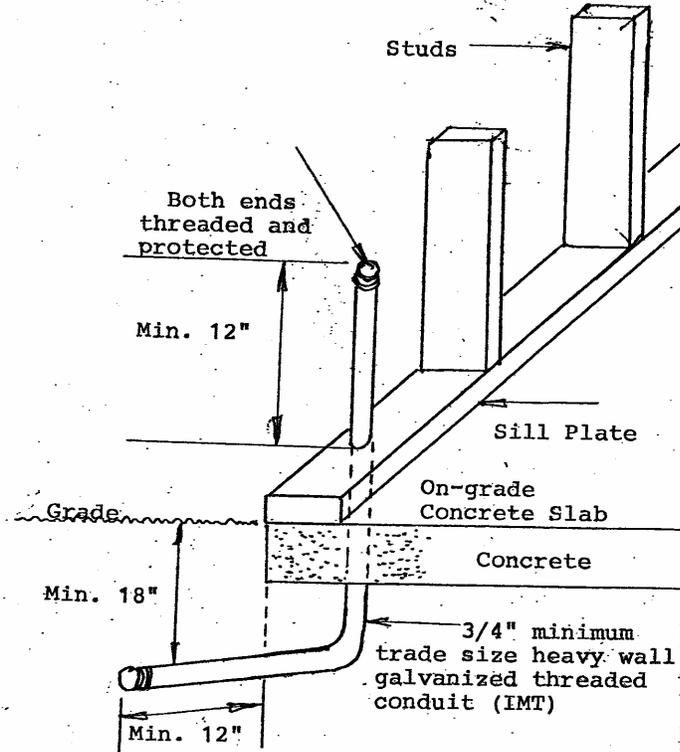
14. **ELECTRICAL REQUIREMENTS**

- A. All garage wiring shall be installed in rigid conduit, electrical metallic tubing or surface metal raceways. Greenfield metal conduit may be used for a flexible connection not exceeding 3 feet in length.
- B. Garages shall be wired and have a minimum of one ceiling light outlet, 1 exterior switched light and 1 convenience wall receptacle. All wall receptacles shall be of a grounding type, (GFCI), with a single dedicated receptacle for the overhead garage door opener.
- C. All underground conduits shall be of heavy wall galvanized threaded conduit of ¾ inch trade size and buried no less than 18 inches below finished grade. The portion of conduit above the slab shall be no less than 12 inches above the sill plate.



1. **Rafters:** 2 X 6 minimum 16 inches O. C.—**Hips Rafters:** 2 X 8 minimum
2. **Roof Sheathing:** ½ inch plywood or equal, (example: OSB board)
3. **Roofing Shingles:** 240 # minimum with 15 # felt paper.
4. **Rafter Ties:** or collar ties, 2 X 4—48 inches O. C.
5. **Ceiling Joists:** 5—2 X 6 minimum with 2 X 4 hangers to rafters.
6. **Walls:** 2 X 4 at 16 inches O. C., ½ inch sheathing, siding.
  - A. 3-2 x 4 corner construction.
  - B. 1 X 4 sway bracing or ½ inch plywood at each corner.
  - C. Treated bottom sill plate.
  - D. Double 2 x 4 top plate interlocked at ends.
7. **Headers:**
  - A. Over 48 inches, 2-2 X 10 with ½ inch spacers, 2-cripple studs
  - B. 2-2 X 12-1/2 inch solid spacer, 3/8 inch bolts @ 24 inches O. C.
  - C. 2-1 ¾ X 12 inch glue lam beam, 3/8 inch bolts @ 24 O. C.
  - D. B and C require 3-cripple studs.
8. **Floor:** 4 inch concrete slab, 5 bag mix with turned down footings.

Please see detailed drawing below:



# VILLAGE OF GLENWOOD

ONE ASSELBORN WAY

GLENWOOD, ILLINOIS 60425

(708) 753-2416

## GENERAL CONTRACTOR'S REQUIREMENTS

1. To supply the name of the General Contractor, address, phone number, fax number, and project name and site address.
2. The name of the superintendent or superintendents who are responsible to oversee the project their phone number, cell number and job fax number if available.
3. It shall be the responsibility of the General Contractor to supply a complete list to the Village of Glenwood's Building Department, of every subcontractor or vender who will be constructing or performing a service in the completion of the job project. To include name of company, business service, address and contact person.
4. It shall be the responsibility of the General Contractor to inform every subcontractor or vender that it will be necessary to obtain a business license to construct or perform any service in the Village of Glenwood.
5. It shall be the responsibility of the General Contractor to obtain the necessary permits and secure the necessary inspections.
6. It shall be the responsibility of the General Contractor to maintain a clean and safe job site. All vehicles when leaving a job site in wet or muddy conditions must be hosed before they are allowed to enter onto the public street.
7. It shall be responsibility of the General Contractor to keep the Building Department informed of any changes in the constructing of the building or changes in the subcontractors or vender performing the services.
8. It shall be the responsibility of the General Contractor to remove all construction debris from the job site and all refuse containers.
9. **Clean-up bond.** Prior to the issuance of any building permit in respect to new work, alteration and repairs to existing building, the party making applications for such permit shall deposit with the Village of Glenwood a cash bond in the amount of \$500.00 for any work with a valuation in excess of \$2000.00, to assure that all refuse, rubbish, building materials or any other items resulting from the work for which the permit was issued, shall be removed from said premises and basic landscaping is completed. Refunded to the party by the Village if approved upon the final inspection by the Building Inspector.

# **VILLAGE OF GLENWOOD**

## **DEFINITIONS and BUILDING GUIDELINES**

### **PLAT OF SURVEY**

The legal description and diagram used to describe your property.

### **CORNER LOT**

A lot having at least two adjacent sides abut for their full length upon a street. Corner lots have two front yard setbacks.

### **LOT LINES**

The property lines bounding your lot from any adjacent lot.

Front Lot line: The line which separates your lot from the street right-of-way. It begins one foot inside your sidewalk.

Rear Lot Line: The lot line which is opposite and most distant from the front lot line.

Side Lot Lines: Lot lines other than the front and rear lot lines,

### **FRONT BUILDING LINE**

No structure can be built past this line.

### **PUBLIC UTILITY and DRAINAGE EASEMENT**

**NO** decks, sheds, pools, landscaping or garages can be built inside this area. These objects obstruct the flow of water and may cause flooding problems for you and your neighbors. Fences are allowed.

### **RIGHT-OF-WAY (R.O.W.)**

The dividing line between a lot, tract or parcel of land and the dedicated right-of-way on a contiguous street.

### **ACCESSORY BUILDING**

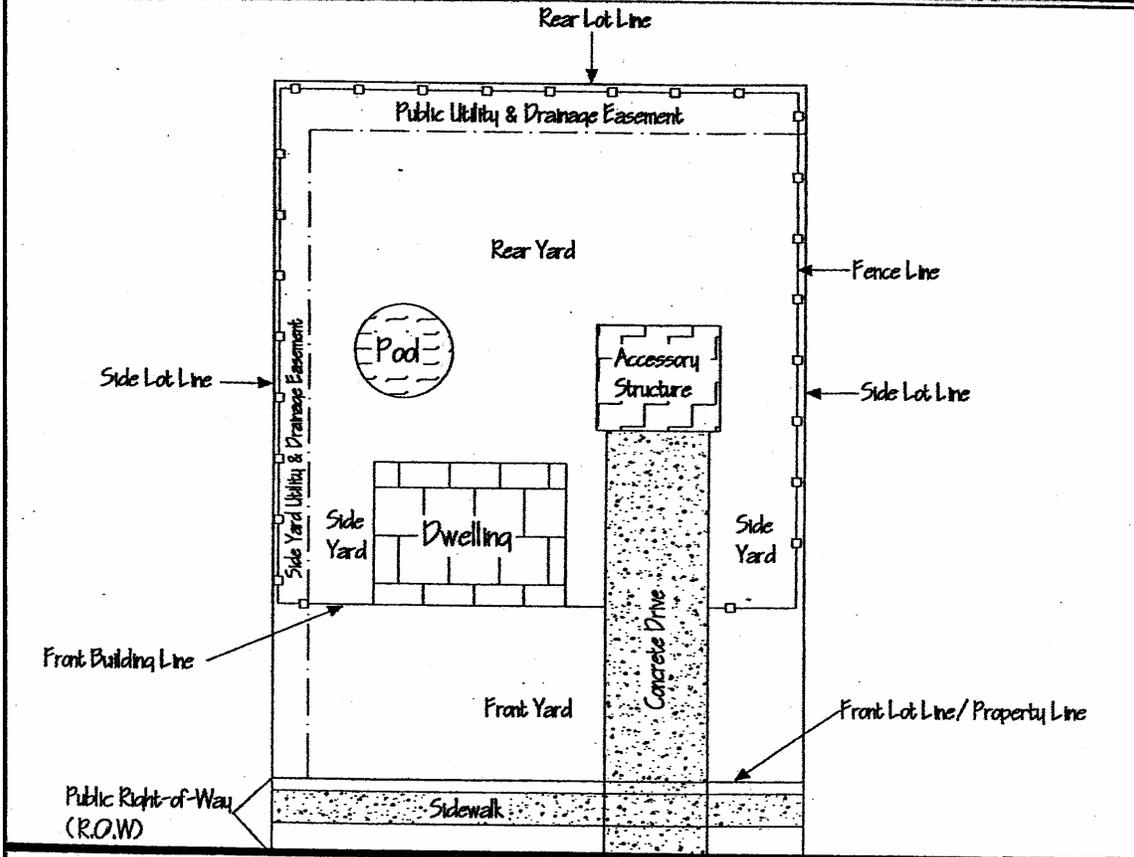
A subordinate building or structure (i.e. garage, shed) on the same lot, not a part of the main building, occupied by or devoted to an accessory use.

**CHECK WITH THE BUILDING DEPARTMENT IF YOU WILL NEED TO APPEAR BEFORE THE ZONING BOARD FOR A VARIANCE BEFORE BUILDING ANY STRUCTURE. BRING IN A PLAT OF SURVEY TO SHOW THE BUILDING DEPARTMENT YOUR PROPOSED PLAN.**

Glenwood  
Illinois

### HOW TO READ YOUR PLAT OF SURVEY

Lot in block 1 in Glenwood Manor Estates. A subdivision in the West  
½ of Section 32, Township 36 North, Range 15 East of the Fourth  
Principal Meriden of Cook County  
(sample description)



Contact the Village of Glenwood Building & Planning Department at:  
(708) 753-2416 for further questions.